

DEVELOPMENT CONTROL
PLAN No. 16

Kingsford Commercial Centre

Council Approval: 16 April 1996
Effective Date: 7 May 1996

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***Section 1* INTRODUCTION**

1 PURPOSE

This Development Control Plan has been prepared under Section 72 of the Environmental Planning and Assessment Act, 1979. The primary purpose of the Development Control Plan is to provide more detailed provisions to facilitate development control within the Kingsford Commercial Centre.

2 AREA OF APPLICATION

The Development Control Plan applies to land to which Randwick Local Environmental Plan No. 87 applies, land edged heavy black referred to as the Kingsford Commercial Centre as identified by Figure 1.

3 RELATIONSHIP TO OTHER ENVIRONMENTAL PLANNING INSTRUMENTS

The Plan supplements the provisions of the Randwick Planning Scheme Ordinance as amended by Local Environmental Plan No. 87 (Kingsford Commercial Centre).

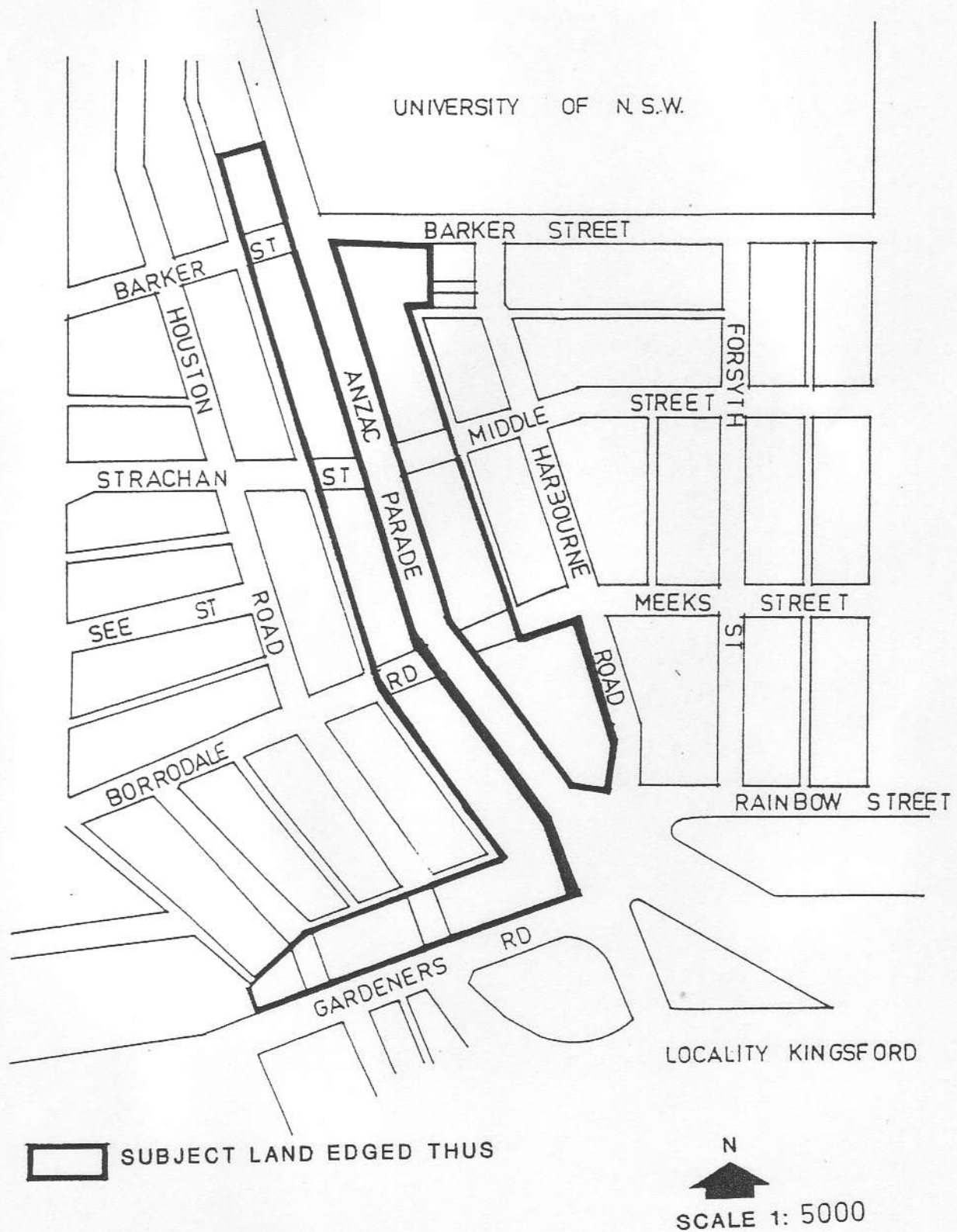
4 AIMS AND OBJECTIVES

This Development Control Plan aims to:

- Provide more detailed planning provisions to supplement the broad planning parameters established in the Randwick Planning Scheme Ordinance as amended by Local Environmental Plan No. 87.
- Encourage and facilitate redevelopment within the Kingsford Commercial Centre in accordance with the recommendations of the following key planning reports;
 - Kingsford Commercial Centre Townscape Masterplan, Knox & Tanner Pty Ltd (October 1994).
 - Kingsford Commercial Centre Study, Scott Carver Pty Ltd (December 1989).
 - Kingsford Traffic, Parking and Pedestrian Study, Traffic Planning Pty Ltd (July 1989).

- To ensure the redevelopment and infill development is compatible in character with existing development and defines the spatial enclosure of Anzac Parade.
- To enhance the pedestrian environment and facilitate the safe and convenient movement of pedestrians through the centre.
- Minimise the potential of buildings within the commercial zone to adversely affect the amenity of residential land, by implementing a building height plane around the commercial periphery.
- Conserve buildings identified as items of environmental heritage.
- Illustrate a range of contributing facades that could be retained or used as examples in urban design, as representing the streetscape character of Kingsford through key architectural elements, fenestration, proportion and scale for new facade development.

Figure 1: Land to which this plan applies



Section 2 BUILDING DESIGN

1 GENERAL

The scale or relative size of a building is important in defining the spatial character of the street. The 30 metre width of Anzac Parade and Gardeners Road is wider than most suburban streets and therefore can accommodate a proportional scale of development, which will provide a comfortable sense of enclosure. Future redevelopment and infill within the Kingsford Commercial Centre should be to a scale more appropriate with the street width.

2 SITE CONSOLIDATION

Although minimum areas for development are not generally prescribed for commercial uses, expansion of the commercial area by incorporating some residential land into the business zone warrants specific site consolidations. Moreover, the increase to floor space ratio's provided by Local Environmental Plan No. 87 in existing business zones is workable where large sites are available. However, much of the established area has significantly smaller commercial allotments which cannot fulfil a floor space ratio of 3:1. Consequently, site amalgamations are encouraged.

A minimum site area of 800m² and a minimum frontage of 18 metres is required to permit development to the maximum floor space ratio of 3:1. Development on smaller lots should not exceed a maximum floor space ratio of 1.5:1. The objective of the site consolidation requirement is to create a more favourable buffer between commercial and residential zones by discouraging ad-hoc or fragmented commercial development. A 3:1 floor space ratio on smaller sites may create undesirable additions to existing buildings and insufficient provision for car parking. Site consolidation will also encourage large scale redevelopment on sites able to accommodate the floor space ratio maximums provided by Local Environmental Plan No. 87.

3 COMMERCIAL COMPONENT

In commercial areas, a nil ground level front building line is considered appropriate in order to maintain and enhance pedestrian and visual continuity. Moreover, development in the General Business Zone is encouraged to provide retail and/or commercial floorspace along the length of the Anzac Parade and Gardeners Road frontage in order to maintain and enhance retail continuity.

Consequently, the ground floor level of development in commercial zones is encouraged to provide a commercial/retail component. New development should provide retail or commercial floor space along the length of the Anzac Parade and Gardeners Road ground floor frontages to a minimum depth of ten (10) metres, in order to provide a retail/commercial area along the main road frontages which should promote retail continuity and relate to the scale of pedestrians.

3.1 Side boundary setbacks

A side boundary setback of 6 metres, (for that part of a wall exceeding 12m in height) is required to provide adequate distance between the buildings to ensure privacy and avoid the creation of large tall sections of unbroken walls of buildings along Anzac Parade and Gardeners Road. The 6 m side setbacks do not apply in the following circumstances:

- (a) Where the development is adjacent to an existing building with substantial walls (that have no openings and or windows) above 12 metres.
- (b) Where it can be demonstrated that due to existing site conditions such as site width, that the application of the 6 metres side setbacks would be impractical.
- (c) Where the site has frontage to a side lane no setback above 12 metres will apply to the side lane or corner street.

4 CRITERIA

The building design of future development will be assessed against the following criteria:

Compliance with the building height plane.

- The overshadowing of the adjoining residential precincts in particular those in Houston Road and Harbourne Road.
- The continuity of the building facade as it addresses the Anzac Parade and Gardeners Road street frontage.
- The relationship of the building to adjoining buildings and the surrounding streetscape in respect of building composition and proportion.
- Heritage controls in respect to items of environmental heritage.

4.1 Building Height Plane

The building height plane defines the envelope or space within which the building is to be confined. Figure No. 2 illustrates several applications of building height plane controls.

The objectives of the building height plane are to:

- a. Control the height and scale of development;
- b. Minimise the effects of overshadowing and overlooking on adjacent residential areas, pedestrian ways, and open space; and

- c. Maintain and improve the streetscape through using the contributing building facades as examples of scale, proportion and architectural detailing and finishes typical of the Kingsford streetscape.
- d. Protect the items of environmental heritage identified in Local Environmental Plan No. 102 (heritage).

The building height plane may not adequately control the effect of overshadowing of a new building in some circumstances. In these cases, Council will consider the individual circumstances or merits.

Shadow diagrams should accompany all development applications for all new buildings. The shadow diagrams should be undertaken for both equinox periods and mid winter periods (i.e. 22 December and 22 June and indicate shadows at 9.00 am, 12 midday & 3.00 pm). 3-D models are required for all development proposals exceeding 15 metres in height. The building height plane establishes the building envelope for lands affected by Local Environmental Plan No. 87 within the area as defined by Figure 2.

4.1.1 Building Height Plane - General Business Zone

The General Business Zone building envelope as shown on figure No 2 (a) is defined by adopting:

- a. On the front boundary a vertical plane to up to a maximum 12m, terminating in a parapet - then setback of 5 metres (minimum) beyond a terrace, or roof then vertical to a maximum height of 24 metres.
- b. A 45 degree sloping plane from a point 8 metres above ground level at the rear boundary of the site as shown in figure No 3.
- c. In the case of contributing facades (see figure 4), where it is decided to retain the original facades, the setback of 5 metres should commence 1.5 metres below the facade parapet.

The building height plane - General Business Zones area of application is illustrated at Figure 3.

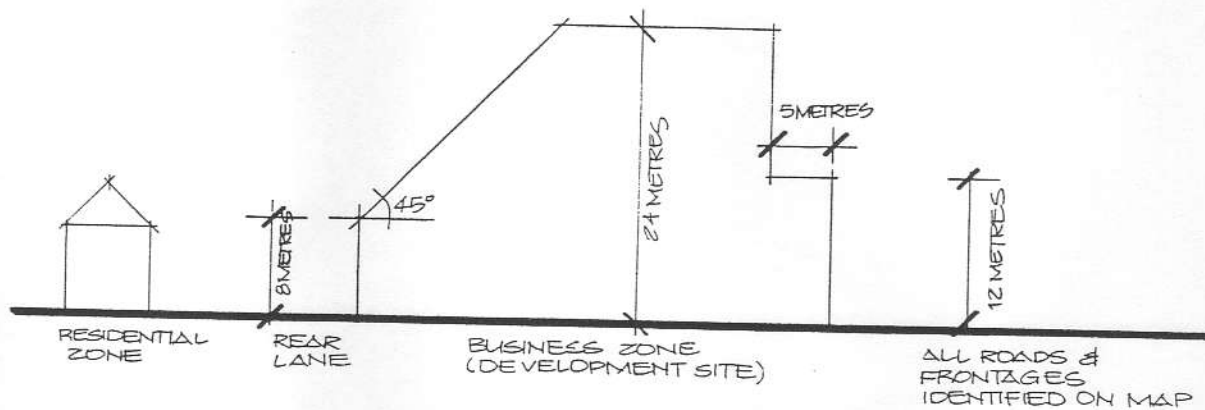
4.1.2 Building Height Plane - Heritage buildings

A second building height plane applies to the items of heritage significance identified in Local Environmental Plan No 102 (heritage) Schedule 8 - O' Deas Corner. The purpose of this building height plane is to reduce the prominence of new buildings behind the heritage items. This height plane is projected from a point 1600mm above the kerb line. Its angle is determined by the height of the retained buildings, as shown in Figure 2b.

Figure 2: Building height plane controls

BUSINESS-RESIDENTIAL ZONE BOUNDARY

2a



HISTORIC BUILDINGS

2b

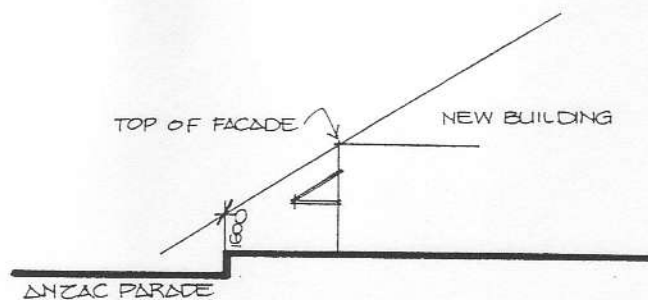


Figure 3: Building height planes location

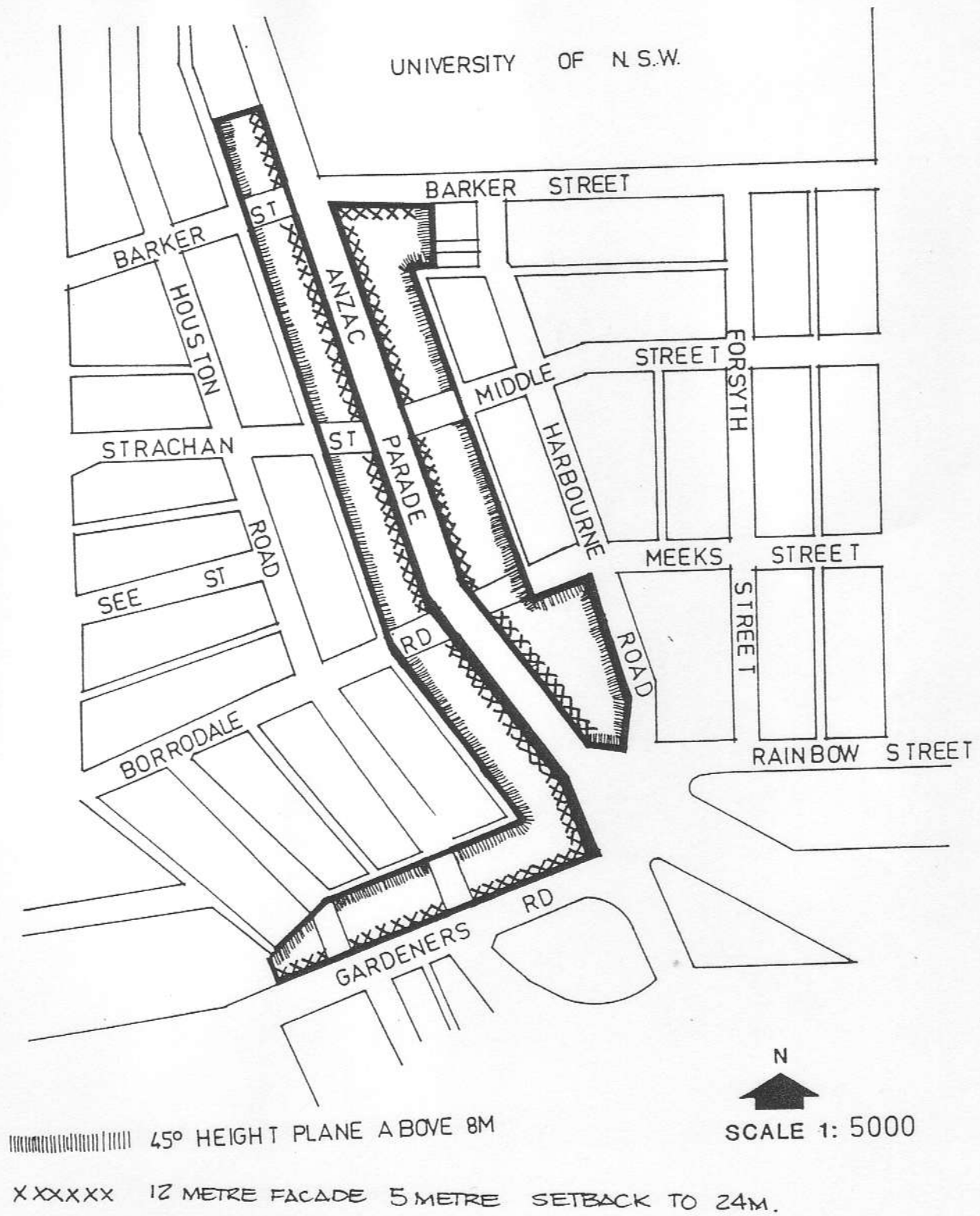


Figure 4: *Heritage Items/Contributing Facades*



4.2 Building Alignment

- All future development along Anzac Parade and Gardeners Road should maintain the continuity of the building facade and be built up to the street alignment for at least the lower floors to up to a maximum of 12 metres. Setbacks of new developments from the street frontage are to be avoided.
- Buildings located on Street corners are to be built up to both street frontages to address the corner rather than one particular Street.
- Future development along Anzac Parade and Gardeners Road is to be built up to the major street boundary.

4.3 Building Height

In the General Business Zone a maximum height of 24 metres above natural ground level applies. This height restriction excludes chimneys, vents and service installations (such as lift towers, stairways and plant rooms). The 24 metre maximum height may not be achievable if other development controls such as the building height planes are not satisfied.

4.4 Car Parking and Traffic

- Car parking must be provided in accordance with relevant provisions of "Randwick Development Control Plan No. 2 - Parking Controls".
- Driveways, internal road design service requirements and site design shall be in accordance with the "Guide to Traffic Generating Developments" issued by the Roads and Traffic Authority of NSW (December 1993), unless otherwise stated in Randwick City Council Development Control Plan No. 2.
- The provision of on-site car parking is to be provided either at ground level or as basement car parking.
- The provisions of above ground car parking which is visible from Anzac Parade and/or Gardeners Road is considered undesirable and inconsistent with the urban design objectives specified in this Development Control Plan.
- Car Parking for visitors/customers must be designated accordingly and be accessible for those users.
- Location of car park ventilation grilles on street elevations should be avoided.

4.5 Loading and unloading facilities

Provision for satisfactory loading and unloading facilities is required for all developments in the business zone. If the development has access to a rear lane, the loading and unloading facilities should be provided from the lane. The loading and unloading facility requirement may not apply if the development is a minor alteration to an existing building or if the size and shape of the development site make the provision of loading and unloading facilities impracticable.

4.6 Common and Private Open Space Provision

A minimum of 10 square metres of common and/or private open space per residential unit shall be provided of which no more than 5 square metres is to comprise private balconies.

Section 3 URBAN DESIGN PARAMETERS

1 OBJECTIVE

To encourage redevelopment and infill to reinforce those existing elements that contribute to the Kingsford Commercial Centre townscape.

2 GENERAL

The building facade along the street is a major element that contributes to the character and image of a centre. While it is inevitable that changes will be made to individual buildings, it is desirable to ensure that such change respects the built heritage and desired townscape character (as per the description below) of the centre. Insensitive change that fails to address the established design parameters for the centre could result in a clash between old and new development and the loss of valued architectural detailing.

The townscape of the Kingsford Commercial Centre derives its character from the following elements:

- Building facades (including the contributing facades shown in Figure No. 4) that incorporate a vertical emphasis which is reinforced through window design and parapet detail.
- Buildings that align the street frontage at Anzac Parade and Gardeners Road and avoid the use of setbacks to a height of 12 metres.
- Buildings that incorporate a parapet roof form.
- Buildings that demonstrate a high proportion of solid to glass with windows occupying approximately 20 percent of the wall area of the facade.

3 ITEMS OF ENVIRONMENTAL HERITAGE

Buildings identified as items of environmental heritage (see L.E.P No. 102 - Heritage). When considering a development application in respect of an item of environmental heritage the following matters will be taken into consideration:

- a. The significance of the item as a component of the environmental heritage in the Kingsford Commercial Centre.
- b. The extent to which the proposed development would effect the significance of the heritage item.

- c. The significance of the streetscape of which the item is an essential part (in particular the building composition and proportion see Section 3.5.8).

4 CONTRIBUTING FACADES

The contributing facades (as shown in the table below and in figure 4) show a range of key architectural elements, fenestration, proportion and scale that define the streetscape character and development of Kingsford. These facades could be retained or used as thematic examples in the design for new building developments.

Kingsford commercial centre contributing facades

Item No.	Street Address	
1.	20 - 28	Gardeners Road
2.	315	Anzac Parade
3.	317-323	Anzac Parade
4.	345-351	Anzac Parade
5.	367-373	Anzac Parade
6.	372-388	Anzac Parade
7.	385-389	Anzac Parade
8.	414-416	Anzac Parade
9.	418-422	Anzac Parade
10.	424-434	Anzac Parade
11.	464-466	Anzac Parade
12.	474-476	Anzac Parade
13.	478-486	Anzac Parade
14.	522	Anzac Parade
15.	524	Anzac Parade
16.	526	Anzac Parade
17.	530	Anzac Parade
18.	532	Anzac Parade

(*O'Deas Corner Heritage Item No 21 L.E.P. No 102)

Source *Kingsford Commercial Centre Study*, Scott Carver 1989.

5 URBAN DESIGN CRITERIA

The building design of future proposals will be assessed against the following criteria:

- The provision of a suspended/cantilevered awning to provide continuous pedestrian shelter.
- The adoption of a fenestration pattern and design elements which emphasise the vertical proportion and composition of the building facade.
- The provision of architectural detailing such as window mouldings and parapet detailing designed to add visual interest to both the building facade and streetscape, as represented in the contributing facades.
- The use of building materials and architectural finishes which complement the existing built character.
- The inclusion of a parapet roof form to create interest to the skyline.

(Note: Detailed design information is provided in the "Kingsford Commercial Centre Townscape Master Plan Randwick City Council Knox & Tanner Pty October 1994" available from Council).

6 CONTROLS

6.1 Awnings

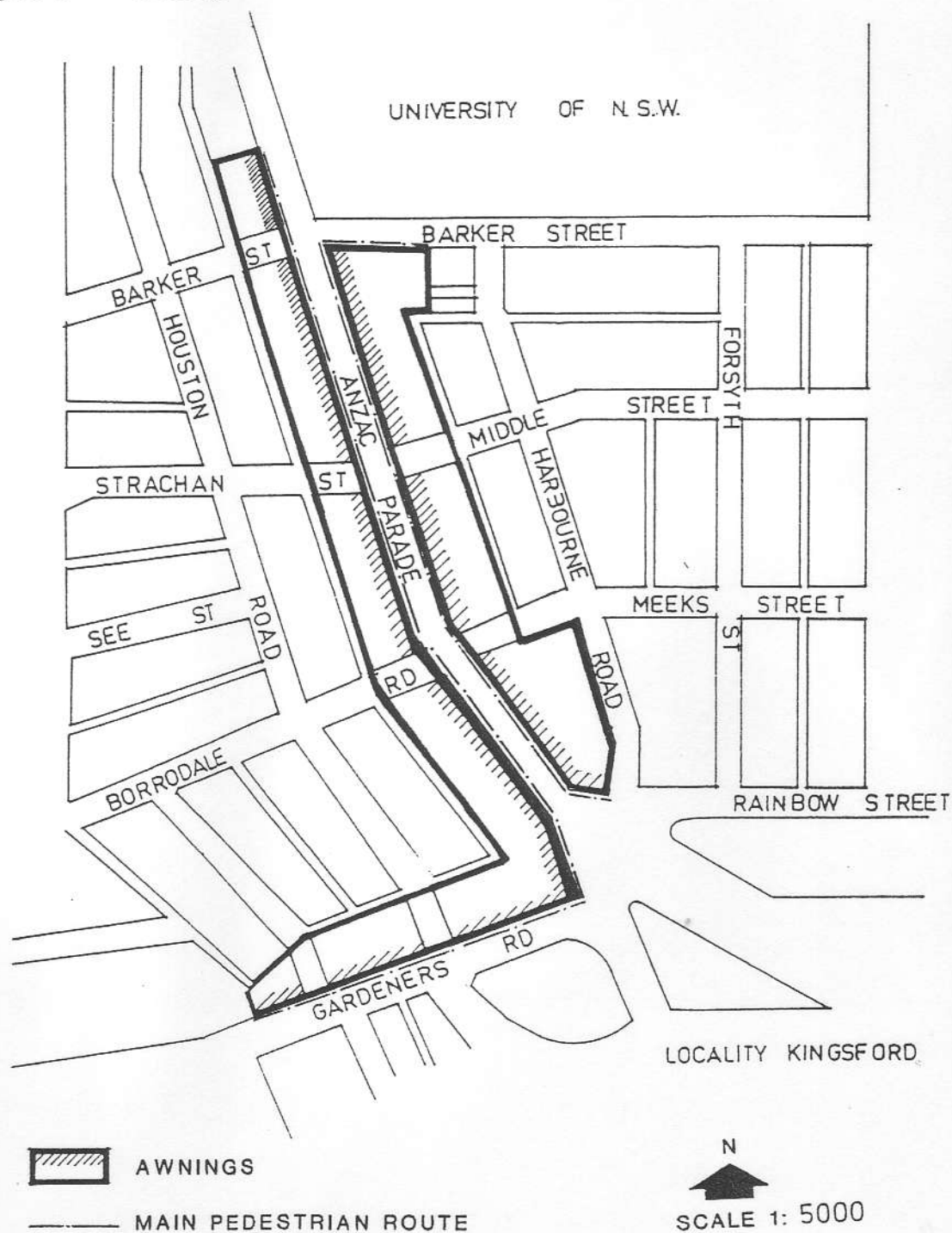
New development should incorporate a flat suspended/cantilevered awning to provide continuous pedestrian shelter along Anzac Parade and Gardeners Road (illustrated in Figure No. 5) Awning fascias are to match the established height above footpath level of adjoining properties wherever possible so as to align with the awning of adjoining buildings. The depth of the fascia should be uniform with adjoining properties. Design and materials should complement the building to which the awning is to be attached.

Each new development should provide an awning across its street frontage, setback 600mm from the kerb, between 3.5m and 4.5m above the footpath, awning width should be at least 3 metres unless openings have been provided for street tree planting. Awning cutouts for trees should have minimum dimensions of 1m x 2m and in general spaced at 10m intervals. This may constitute a condition of development consent.

Gaps between awnings should be closed. Glass is not favoured as an awning material because of heat transfer and because of the desirability of creating a shaded enclosed edge to the wide streets. Opaque materials such as ribbed sheet steel are encouraged.

Drop blinds protecting shopfronts and shoppers from low sun angles should be included at the outer edge of awnings. Advertising space on these should be used to diversify the street appearance. The underside of drop blinds should be at least 3m above the footpath level. In cases where it is impractical or unreasonable to require continuous awnings other forms of providing shade and shelter may be considered.

Figure 5: *Awnings*



6.2 Advertising

Above awning advertising structures e.g. projecting wall signs are not generally encouraged and shall only in very limited circumstances be permitted if Council is satisfied that the sign will not unnecessarily or unreasonably intrude upon the streetscape, a contributing facade or obscure the architectural feature of a specific heritage item (See "Outdoor Advertising, An urban design-based approach" NSW Dept of Planning and Victorian Department of Planning and Housing 1991). Pole signs, billboards, sky signs and three dimensional should be discouraged.

If an advertising structure is proposed to be attached to a building, the plans accompanying the application should provide elevations of the building showing windows, awnings or other major architectural features in relation to the advertising structure and should take into account the existing streetscape and traffic safety (See Figure 6).

6.3 Fenestration *(Typical window proportions see figure 7)*

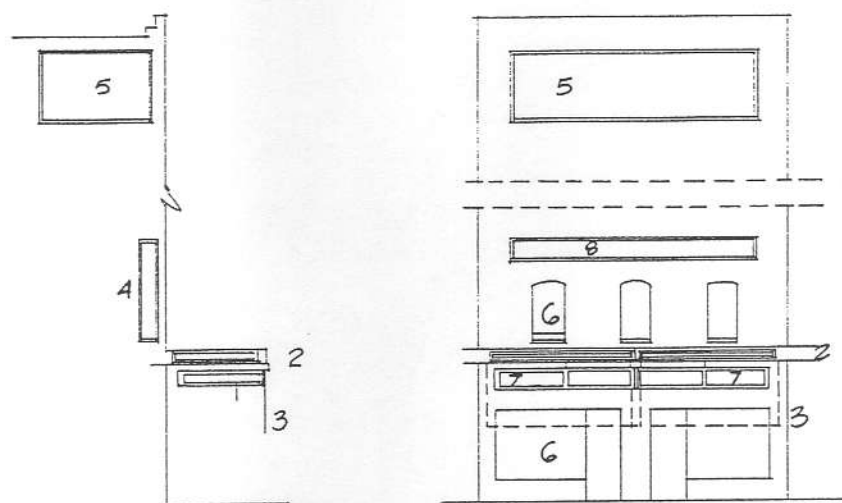
- The fenestration pattern of new development above the awning line should adopt a vertical emphasis in its proportions.
- The design of fenestration in new buildings should complement the established fenestration pattern, with windows as individual or groups forming penetrations in the solid facade.
- The use of mirror glass or coloured glass is not generally considered appropriate.

6.4 Architectural Detailing Materials and Finishes

- For new developments, building alterations and additions, the colour of exterior works should be consistent with the Colour Palette as shown in figure No 8.
- Building facades should be constructed of masonry including brickwork, stonework rendered blockwork and cement construction.
- Large expanses of highly reflective materials or glass curtain walling above the awning line are considered inappropriate.
- New buildings that are adjacent to residential precincts at their rear boundary should avoid the use of reflective surfaces on that facade.
- Sympathetic use of building materials can reduce the impact of a modern shopfronts on the streetscape. The use of roller shutter doors for shopfronts detract from the visual and heritage amenity of the area and should will not be permitted.

- The use of aluminium cladding as an architectural treatment is considered inappropriate for building facades having street frontages to Anzac Parade and Gardeners Road.
- New buildings where possible should create visual interest by incorporating shaped parapets, cornice, pediment and window mouldings.

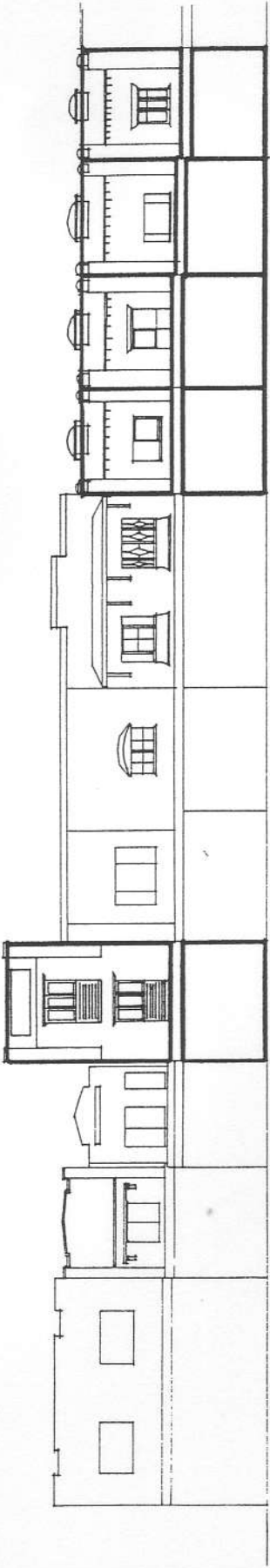
Figure 6: Advertising controls



Area	Name	Details	Characteristics
1	Under Awning	Min: 2800 above pavement Max: 450 from kerb, 3000 long 100 deep. Vertical to building	Backlit/neon. Occupant name/I.D.
2	Awning	Max: dimension of awning 80 deep. Flush to awning	Paint, backlit or neon. Occupant/I.D.
3	Drop Blind	Dimensions of blind	Occupant name/I.D. Relevant products.
4	Building Side	3000-6000 above ground 150 from building facade Max 3000 high, 600 wide 80 deep. flush to building	Paint, backlit or neon Occupant name/I.D.
5	Building Top	Max: Dimension of building 1200 high. Max 100 Deep Flush to building	Backlit, neon, concealed floodlit. Building name/ Occupant names/ I.D.
6	Window	Max 20% glazed area behind glass or on glass surface.	
7	Hamper	Max 600 high 80 deep.	Backlit or paint
8	Upper building	Max: 6000 above ground Max: 600 high, 80 deep Flush to building. Not on single storey buildings.	Backlit or paint Occupant names/ I.D.

Source: Kingsford Commercial Centre Townscape Master Plan, Knox & Tanner, 1994 (modified).

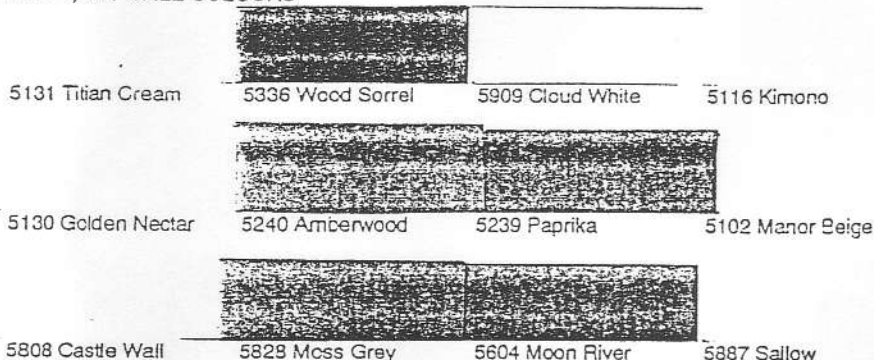
Figure7: Commercial centre elevation



TYPICAL ELEVATION SHOWING BUILDING COMPOSITION, PROPORTION AND FENESTRATION.

Figure 8: *Colour palette (original copy available from Council's Planning Department)*

BODY, OR WALL COLOURS

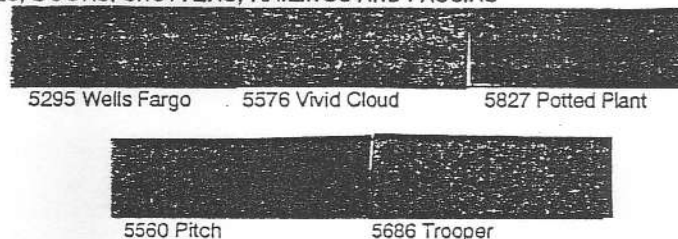


- * Use creams and beiges for render or roughcast detail within a bark body colour
- * 5336 Wood Sorrel could be used as a brick substitute colour
- * Use cool colours (third row) on tall or ugly buildings to help them "recede"

WINDOW AND DOOR FRAMES, AND SOFFITS

Use the hues above in slightly deeper tones so that frames are a mid tone, deeper than the adjacent body colour, but lighter than sashes

SASHES, DOORS, SHUTTERS, RAILINGS AND FASCIAS



UNDER AWNINGS



GUTTERS



NOTES

The colours referred to are from the Pascol Colour Dimensions Range. This reference has been used because of its comprehensiveness and reproduction quality. The same, or similar colours by other first quality manufacturers would be acceptable.

1. Use matt or low-sheen finishes on walls, satin or gloss on sashes, doors, railings and fascias.
2. Apply paints in accordance with manufacturer's recommendations.
3. Colour schemes for poor impact buildings or buildings of particular merit are provided in Appendix D.

6.5 Roof form

- All building facades that address the street frontage at Anzac Parade/Gardeners Road should incorporate a shaped parapet having a minimum height of 1.5m above the ceiling level or in alignment with adjoining facades for infill development

6.6 Provision of through site pedestrian links

The provision for retail arcades providing a direct through site pedestrian link to an off-street car parking area or other public space is encouraged. A through site link is a continuous pedestrian way from one boundary of a site to another linking public streets or public places.

Such link shall:

- generally have an unobstructed width of 4m;
- achieve changes of level by means suitable for disabled persons.
- be well lit, cleaned and maintained, and;
- incorporate a high quality non-slip surface.

6.7 Building Composition and Proportion

New buildings should incorporate a vertical emphasis in the composition of their building facades and architectural detailing (see Figure No 6). The vertical proportion of a facade can be reinforced by the window design and parapet detailing. Generally, the vertical proportion is at 6m intervals which corresponds to the average rhythm of shopfronts.

Front facades should be architecturally treated to create visual interest and diversity. Large expanses of highly reflective or brightly coloured surfaces should be avoided. Side and rear facades should be designed to comparable standards of visual quality as the front facades. Large areas of blank unrelieved walls should be avoided.

6.8 Community Art

Local input into urban design projects such as Youth and Community art projects within the Kingsford Commercial Centre, area should be encouraged in particular for Gardeners Lane and other appropriate public areas, for further information please contact Randwick City Council Community Services Department.

Section 4 GENERAL ADVICE TO APPLICANTS

1 APPLICATION OF DEVELOPMENT CONTROL PLAN NO. 16

In assessing development proposals, Council will consider all those matters specified in Section 90(1) of the Environmental Planning and Assessment Act, the provisions of the Randwick Planning Scheme Ordinance, Local Environmental Plan No. 87 and any other relevant planning instruments.

Development Control Plan No. 16 may be interpreted with flexibility by Council. However, Council may refuse a development application which does not comply with Development Control Plan No. 16, or may seek to modify a non-complying development by imposing conditions designed to make it comply. All applications submitted should comply with this DCP and where a proposal departs from any of the requirements, the applicant must provide justification for that departure. Failure to provide adequate justification may result in the applications not being accepted. This Development Control plan will also be applied to Local Approval Applications under Section 68 of the Local Government Act.

2 PREPARING DEVELOPMENT APPLICATIONS

2.1 General

A development application is to consist of:

- A development application form;
- Six copies of all plans (one colour copy);
- Statement of Environmental Effects;
- Application fee, and;
- The written authority of the landowners where the applicant is not the owner.

2.2 Statement of Environmental Effects

Each application must be accompanied by a Statement of Environmental Effects which:

- Demonstrates that consideration has been given to the environmental impacts of the development, and;
- Sets out any measures taken to mitigate any likely adverse environmental impact.

2.3 Section 94 Contributions for public amenities and services.

The Council's "Section 94 Contributions Plan" applies to the subject area. Council is empowered (under section 94 of the environmental Planning and Assessment Act, 1979 as amended) to levy contributions towards the cost of providing, extending or increasing facilities to meet increased demands created by development and/or increases in workforce or residential population.

2.4 General Advice from Council

Further information and advice can be obtained from Council's Department of Planning, Planners and Heritage Architects.
